

SURVEYOR'S OFFICE

Hamilton County

Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

September 25, 2014

To: Hamilton County Drainage Board

Re: Little Eagle Creek Drain, Overbrook Farms Section 2 Arm

Attached is a petition filed by Fischer Development Company, along with a non-enforcement request, plans, calculations, quantity summary and assessment roll for the Overbrook Farms Section 2 Arm, Little Eagle Creek Drain to be located in Clay Township. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable, will improve the public health, benefit a public highway, and be of public utility and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. The drain will consist of the following:

12" RCP	481 ft.	18" RCP	426 ft.
6" SSD	3,452 ft.		

The total length of the drain will be 4,359 feet.

The existing retention pond (Lake #3) located in Common Area #8 is to be considered part of the regulated drain. Pond maintenance assumed by the Drainage Board shall include the inlet and outlet as part of the regulated drain. The maintenance of the pond (Lake #3) such as sediment removal and erosion control along the banks, mowing and aquatic vegetation maintenance and control will be the responsibility of the Homeowners Association. The Board will also retain jurisdiction for ensuring the storage volume for which the pond was designed will be retained, thereby, allowing no fill or easement encroachments.

The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs and those main lines in rear yards. Only the main SSD lines which are located within the easement or right of way are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain. The portion of the SSD which will be regulated other than those under curbs are as follows:

Rear yard lots 49 to 50 from existing Str. 783A to existing Str. 783

I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$65.00 per platted lot, \$10.00 per acre for common areas, with a \$65.00 minimum, and \$10.00 per acre for roadways. With this assessment the total annual assessment for this drain will be \$1,615.20.

The petitioner has submitted surety for the proposed drain at this time. The sureties which are in the form of a Performance Bond are as follows:

Agent: Westchester Fire Insurance Company
Date: August 21, 2014
Number: K09019157
For: Storm Sewers & Sub-Surface Drains
Amount: \$196,106.75

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed drain that the Board also approve the attached non-enforcement requests. The request will be for the reduction of the regulated drain easement to those easement widths as shown on the secondary plats for Overbrook Farms Section 2 as recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for November 24, 2014.



Kenton C. Ward, CFM
Hamilton County Surveyor

KCW/pll

STATE OF INDIANA)
)
COUNTY OF HAMILTON)

FILED

JAN 27 2014

OFFICE OF HAMILTON COUNTY SURVEYOR

TO: HAMILTON COUNTY DRAINAGE BOARD
% Hamilton County Surveyor
One Hamilton County Square, Suite 188
Noblesville, IN. 46060-2230

In the matter of Overbrook Farms Section 2 Subdivision, Section
Little Eagle Creek, Bear Creek Arm Drain Petition.

Petitioner is the owner of all lots in the land affected by the proposed new regulated drain. The drainage will affect various lots in Overbrook Farms Section 2, a subdivision in Hamilton County, Indiana. The general route of such drainage shall be in existing easements and along public roads as shown in the plans on file in the Surveyor's Office.

Petitioner believes that the cost, damages and expenses of the proposed improvement will be less than the benefits which will result to the owners of the land likely to be benefited thereby. Petitioner believes the proposed improvements will:

- (a) improve public health
- (b) benefit a public street
- (c) be of public utility

Petitioner agrees to pay the cost of construction of the drainage system and requests periodic maintenance assessments by the Board thereafter.

The Petitioner also agrees to the following:

1. To provide the Drainage Board a Performance Bond or Non-Revocable Letter of Credit for the portion of the drainage system which will be made a regulated drain. The bond will be in the amount of 120% of the Engineer's estimate. The bond will be in effect until construction of 100% of the system is completed and so certified by the Engineer.
2. The Petitioner shall retain an Engineer throughout the construction phase. At completion of the project the Petitioner's Engineer shall certify that the drainage system which is to be maintained as a regulated drain has been constructed as per construction plans.
3. The Petitioner agrees to request in writing to the County Surveyor any changes from the approved plan and must receive written authorization from the County Surveyor prior to implementation of the change. All changes shall be documented and given to the Surveyor to be placed in the Drain file.
4. The Petitioner shall instruct his Engineer to provide a reproducible print on a 24" x 36" Mylar of the final design of the Drainage System. This shall be submitted to the County Surveyor prior to the release of the Performance Bond.
5. The Petitioner shall comply with the Erosion Control Plan as specified on the construction plans. Failure to comply with the Erosion Control Plan shall be determined by the Board as being an obstruction to the drainage system. The County Surveyor shall immediately install or repair the needed measures at Petitioners cost as per IC 36-9-27-46.

Adobe PDF Fillable Form

The Petitioner further requests that the Drain be classified as an Urban Drain as per IC 36-9-27-69(d).

RECORDED OWNER(S) OF LAND INVOLVED


Signed

Richard A. Henderson
Printed Name

1/17/14
Date

Signed

Printed Name

Date

Signed

Printed Name

Date

Signed

Printed Name

Date

FINDINGS AND ORDER

CONCERNING THE MAINTENANCE OF THE

Little Eagle Creek Drain, Overbrook Farms Section 2 Arm

On this 24th day of November, 2014, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the *Little Eagle Creek Drain, Overbrook Farms Section 2 Arm*.

Evidence has been heard. Objections were presented and considered. The Board then adopted the original/amended Schedule of Assessments. The Board now finds that the annual maintenance assessment will be less than the benefits to the landowners and issues this order declaring that this Maintenance Fund be established.

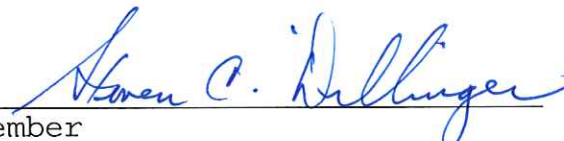
HAMILTON COUNTY DRAINAGE BOARD



President



Member



Member

Attest: 
Executive Secretary



TERRA Site Development, Inc
 1301 W. 161st Street
 Westfield, IN 46074
 317-399-1216

PRELIMINARY CONSTRUCTION COST ESTIMATE

PROJECT: Overbrook Section 2		DATE: June 12, 2014
LOCATION: Carmel, Indiana	ITEM: SUMMARY	PROJECT #: 131004-1.001

DESCRIPTION

MONUMENTATION	\$14,850.00
STORM SEWER	\$196,106.75
PAVEMENT, CURBS	\$196,215.75
WATER	\$99,756.75
EROSION CONTROL	\$89,220.00
SIDEWALKS	\$71,415.00
SIGNAGE	\$4,050.00
TOTAL	\$671,614.25

Note:

This cost opinion was generated from TERRA Overbrook Farms Section 2 Construction Plans Dated 1/17/14, Revised 8/11/14



David K. Sexton

8/13/2014

PRELIMINARY CONSTRUCTION COST ESTIMATE

PROJECT: Overbrook Section 2	DATE: June 12, 2014
LOCATION: Carmel, Indiana	ITEM: STORM
	PROJECT #: 131004-1.001

DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL
6'x16' CONCRETE BOX CULVERT	1	LS	\$71,000.00	\$71,000.00
12" RCP PIPE	481	LF	\$14.50	\$6,974.50
18" RCP PIPE	433	LF	\$18.25	\$7,902.25
MANHOLES w/CSTG (6' DIA)	1	EA	\$3,100.00	\$3,100.00
MANHOLES w/CSTG (4' DIA)	6	EA	\$1,800.00	\$10,800.00
CURB INLET w/CSTG	5	EA	\$1,380.00	\$6,900.00
AS7 W/ PAD	1	EA	\$35,435.00	\$35,435.00
18" END SECTION w/ TRASH GUARD	2	EA	\$1,100.00	\$2,200.00
#8 BEDDING	370	TN	\$15.00	\$5,550.00
FILL SAND	530	TN	\$11.00	\$5,830.00
GRANULAR BACKFILL	272	CYDS	\$10.50	\$2,856.00
6" SSD IN STREET w/STONE	3160	LF	\$9.20	\$29,072.00
6" SSD IN SWALE w/STONE	231	LF	\$12.00	\$2,772.00
4" SUBSURFACE LOT HOOKUPS	3	EA	\$90.00	\$270.00
TELEVISIONING STORM PIPE	914	LF	\$2.50	\$2,285.00
TELEVISIONING 6" STREET SSD	3160	LF	\$1.00	\$3,160.00
TOTAL STORM				\$196,106.75

PRELIMINARY CONSTRUCTION COST ESTIMATE

PROJECT: Overbrook Section 2		DATE: June 12, 2014		
LOCATION: Carmel, Indiana		ITEM: PAVEMENT	PROJECT #: 131004-1.001	
DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL
ASPHALT:	5405	SYDS	\$24.50	\$132,422.50
LIME STABILIZATION	5405	SYDS	\$3.25	\$17,566.25
2' CONCRETE ROLL CURB	3157	LF	\$11.00	\$34,727.00
HANDICAP RAMP	16	EA	\$650.00	\$10,400.00
END OF STREET BARRICADE	2	EA	\$550.00	\$1,100.00
TOTAL PAVEMENT & CURBS				\$196,215.75

PROJECT: Overbrook Section 2		DATE: June 12, 2014		
LOCATION: Carmel, Indiana		ITEM: SIDEWALKS	PROJECT #: 131004-1.001	
5' CONC. WALK (FRONT OF LOTS)	2992	LF	\$22.50	\$67,320.00
(IN COMMON AREAS)	182	LF	\$22.50	\$4,095.00
TOTAL SIDEWALKS				\$71,415.00

PROJECT: Overbrook Section 2		DATE: June 12, 2014		
LOCATION: Carmel, Indiana		ITEM: MONUMENTATION	PROJECT #: 131004-1.001	
MONUMENTS:				
STREET MARKERS	11	EA	\$125.00	\$1,375.00
BOUNDARY MARKERS @ R/W	49	EA	\$275.00	\$13,475.00
TOTAL MONUMENTATION				\$14,850.00

PRELIMINARY CONSTRUCTION COST ESTIMATE

PROJECT: Overbrook Section 2		DATE: June 12, 2014	
LOCATION: Carmel, Indiana	ITEM: WATER	PROJECT #: 131004-1.001	

DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL
8" MAIN	1601	LF	\$30.00	\$48,030.00
8" SHUT OFF VALVE	6	EA	\$1,386.00	\$8,316.00
TEES	2	EA	\$625.00	\$1,250.00
FITTINGS	8	EA	\$340.00	\$2,720.00
1" LATERAL W/ CORP STOP, ANGLE VAL	21	EA	\$1,000.00	\$21,000.00
BLOW OFF VALVES	1	EA	\$700.00	\$700.00
FLUSHING & TESTING	1601	LF	\$0.75	\$1,200.75
STORM CROSSINGS	4	EA	\$460.00	\$1,840.00
HYDRANTS W/ VALVES	3	EA	\$4,700.00	\$14,100.00
HYDRANT MARKERS	4	EA	\$150.00	\$600.00
TOTAL WATER				\$99,756.75

PRELIMINARY CONSTRUCTION COST ESTIMATE

PROJECT: Overbrook Section 2 **DATE: June 12, 2014**

LOCATION: Carmel, Indiana **ITEM: EROSION** **PROJECT #: 131004-1.001**

DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL
PERMANENT SEEDING	9400	SYDS	\$0.50	\$4,700.00
TEMPORARY SEEDING	49740	SYDS	\$0.50	\$24,870.00
FILTER STRIPS	4650	SYDS	\$1.40	\$6,510.00
SEEDING	59140	SYDS	\$0.50	\$29,570.00
EROSION BLANKETS	1553	SYDS	\$1.50	\$2,329.50
SILT FENCE	4234	LF	\$1.75	\$7,409.50
SCOURSTOP MATS	1222	SYDS	\$1.50	\$1,833.00
TEMPORARY CONSTRUCTION ENTRANC	333	SYDS	\$22.00	\$7,326.00
RIP RAP	11	SYDS	\$22.00	\$242.00
BEEHIVE INLET PROTECTION	3	EA	\$135.00	\$405.00
CURB INLET PROTECTION	15	EA	\$135.00	\$2,025.00
HC RAMP PROTECTION	16	EA	\$125.00	\$2,000.00
TOTAL EROSION				\$89,220.00

PROJECT: Overbrook Section 2 **DATE: June 12, 2014**

LOCATION: Carmel, Indiana **ITEM: SIGNAGE** **PROJECT #: 131004-1.001**

STREET SIGNS	2	EA	\$925.00	\$1,850.00
TRAFFIC CONTROL SIGNS	6	EA	\$675.00	\$4,050.00
TOTAL SIGNAGE				\$4,050.00

**FILED****AUG 25 2014****SUBDIVISION
PERFORMANCE BOND****Bond No. K09019157**

OFFICE OF HAMILTON COUNTY SURVEYOR

KNOW ALL MEN BY THESE PRESENTS:

The undersigned Fischer Development Company, as Principal (hereinafter called "Principal"), and Westchester Fire Insurance Company, as Surety (hereinafter called "Surety"), are held and firmly bound unto the Hamilton County Board of Commissioners, One Hamilton County Square, Noblesville, Indiana 46060 as Obligee (hereinafter called the "Obligee"), in the sum of One Hundred Ninety-Six Thousand, One Hundred and Six Dollars and 75/100 (\$196,106.75) lawful money of the United States for which payment, well and truly be made, we bind ourselves, our heirs, executors, successors and assigns jointly and severally firmly by these presents.

THE CONDITION OF THE OBLIGEE IS SUCH THAT:

WHEREAS, the Principal has agreed to construct in Overbrook Farms – Section 2, in Noblesville, Indiana with the following improvements: Storm Sewer – including as built drawing and SSD.

WHEREAS, the Principal has agreed to complete all Work within one year, unless this time period is extended by mutual agreement with the Principal and the Obligee.

NOW THEREFORE, the condition of this obligation is such, that if the above Principal shall fully and faithfully perform all of the work as required, and in accordance with the Plans and Specifications, and within the timeframe prescribed above, then this obligation shall be void, otherwise this obligation is to remain in full force and effect until the improvements are complete.

IN WITNESS WHEREOF, the signature of said Principal is hereto affixed and the corporate seal and name of the Surety is hereto affixed and attested by its duly authorized Attorney-in Fact, this 21st day of August, 2014.

Principal: Fischer Development CompanyBy: Todd E. Huss
PresidentFischer Development Company
3940 Olympic Blvd. – Suite 100
Erlanger, Kentucky 41018
(859) 344-3128**Surety: Westchester Fire Insurance Company**By: Susan A. Yeazell
Attorney-in-FactWestchester Fire Insurance Company
525 West Monroe Street, Suite 700
Chicago, IL 60661
(312) 775-7806

Attachments:

1. Engineer's Construction Cost Estimate
2. Copy of the Plan (coversheet)
3. Insurance Company Power of Attorney

Power of Attorney

WESTCHESTER FIRE INSURANCE COMPANY

FILE

FILE COPY

AUG 25 2014

OFFICE OF HAMILTON COUNTY SURVEYOR

Know all men by these presents: That **WESTCHESTER FIRE INSURANCE COMPANY**, a corporation of the Commonwealth of Pennsylvania pursuant to the following Resolution, adopted by the Board of Directors of the said Company on December 11, 2006, to wit:

RESOLVED, that the following authorizations relate to the execution, for and on behalf of the Company, of bonds, undertakings, recognizances, contracts and other written commitments of the Company entered into in the ordinary course of business (each a "Written Commitment"):

- (1) Each of the Chairman, the President and the Vice Presidents of the Company is hereby authorized to execute any Written Commitment for and on behalf of the Company, under the seal of the Company or otherwise.
- (2) Each duly appointed attorney-in-fact of the Company is hereby authorized to execute any Written Commitment for and on behalf of the Company, under the seal of the Company or otherwise, to the extent that such action is authorized by the grant of powers provided for in such person's written appointment as such attorney-in-fact.
- (3) Each of the Chairman, the President and the Vice Presidents of the Company is hereby authorized, for and on behalf of the Company, to appoint in writing any person the attorney-in-fact of the Company with full power and authority to execute, for and on behalf of the Company, under the seal of the Company or otherwise, such Written Commitments of the Company as may be specified in such written appointment, which specification may be by general type or class of Written Commitments or by specification of one or more particular Written Commitments.
- (4) Each of the Chairman, the President and Vice Presidents of the Company is hereby authorized, for and on behalf of the Company, to delegate in writing any other officer of the Company the authority to execute, for and on behalf of the Company, under the Company's seal or otherwise, such Written Commitments of the Company as are specified in such written delegation, which specification may be by general type or class of Written Commitments or by specification of one or more particular Written Commitments.
- (5) The signature of any officer or other person executing any Written Commitment or appointment or delegation pursuant to this Resolution, and the seal of the Company, may be affixed by facsimile on such Written Commitment or written appointment or delegation.

FURTHER RESOLVED, that the foregoing Resolution shall not be deemed to be an exclusive statement of the powers and authority of officers, employees and other persons to act for and on behalf of the Company, and such Resolution shall not limit or otherwise affect the exercise of any such power of authority otherwise validly granted or vested.

Does hereby nominate, constitute and appoint **Dan Erlus, SUSAN A. YEAZELL**, all of the City of **CINCINNATI, Ohio**, each individually if there be more than one named, its true and lawful attorney-in-fact, to make, execute, seal and deliver on its behalf, and as its act and deed any and all bonds, undertakings, recognizances, contracts and other writings in the nature thereof in penalties not exceeding Two million dollars & zero cents (\$2,000,000.00) and the execution of such writings in pursuance of these presents shall be as binding upon said Company, as fully and amply as if they had been duly executed and acknowledged by the regularly elected officers of the Company at its principal office.

IN WITNESS WHEREOF, the said **Stephen M. Haney, Vice-President**, has hereunto subscribed his name and affixed the Corporate seal of the said **WESTCHESTER FIRE INSURANCE COMPANY** this 14 day of June 2013.

WESTCHESTER FIRE INSURANCE COMPANY



Stephen M. Haney
Stephen M. Haney, Vice President

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF PHILADELPHIA ss.

On this 14 day of June, AD. 2013, before me, a Notary Public of the Commonwealth of Pennsylvania in and for the County of Philadelphia came **Stephen M. Haney, Vice-President of the WESTCHESTER FIRE INSURANCE COMPANY**, to me personally known to be the individual and officer who executed the preceding instrument, and he acknowledged that he executed the same, and that the seal affixed to the preceding instrument is the corporate seal of said Company; that the said corporate seal and his signature were duly affixed by the authority and direction of the said corporation, and that Resolution, adopted by the Board of Directors of said Company, referred to in the preceding instrument, is now in force.

IN TESTIMONY WHEREOF, I have herunto set my hand and affixed my official seal at the City of Philadelphia the day and year first above written.



COMMONWEALTH OF PENNSYLVANIA
NOTARIAL SEAL
KAREN E. BRANDT, Notary Public
City of Philadelphia, Phila. County
My Commission Expires September 20, 2014

Karen E. Brandt
Notary Public

I, the undersigned Assistant Secretary of the **WESTCHESTER FIRE INSURANCE COMPANY**, do hereby certify that the original **POWER OF ATTORNEY**, of which the foregoing is a substantially true and correct copy, is in full force and effect.

In witness whereof, I have hereunto subscribed my name as Assistant Secretary, and affixed the corporate seal of the Corporation, this

21st August, 2014



William L. Kelly
William L. Kelly, Assistant Secretary

THIS POWER OF ATTORNEY MAY NOT BE USED TO EXECUTE ANY BOND WITH AN INCEPTION DATE AFTER June 14, 2015.

FILED

AUG 25 2014

**SUBDIVISION
PERFORMANCE BOND**



Bond No. K09019145

OFFICE OF HAMILTON COUNTY SURVEYOR

KNOW ALL MEN BY THESE PRESENTS:

The undersigned Fischer Development Company, as Principal (hereinafter called "Principal"), and Westchester Fire Insurance Company, as Surety (hereinafter called "Surety"), are held and firmly bound unto the Hamilton County Board of Commissioners, One Hamilton County Square, Noblesville, Indiana 46060 as Obligee (hereinafter called the "Obligee"), in the sum of Fourteen Thousand, Eight Hundred and Fifty Dollars and 00/100 (\$14,850.00) lawful money of the United States for which payment, well and truly be made, we bind ourselves, our heirs, executors, successors and assigns jointly and severally firmly by these presents.

THE CONDITION OF THE OBLIGEE IS SUCH THAT:

WHEREAS, the Principal has agreed to construct in Overbrook Farms – Section 2, in Noblesville, Indiana with the following improvements: Monumentation and Markers.

WHEREAS, the Principal has agreed to complete all Work within one year, unless this time period is extended by mutual agreement with the Principal and the Obligee.

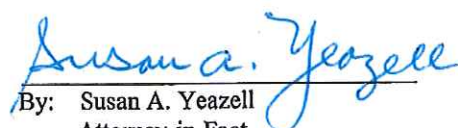
NOW THEREFORE, the condition of this obligation is such, that if the above Principal shall fully and faithfully perform all of the work as required, and in accordance with the Plans and Specifications, and within the timeframe prescribed above, then this obligation shall be void, otherwise this obligation is to remain in full force and effect until the improvements are complete.

IN WITNESS WHEREOF, the signature of said Principal is hereto affixed and the corporate seal and name of the Surety is hereto affixed and attested by its duly authorized Attorney-in Fact, this 21st day of August, 2014.

Principal: Fischer Development Company

Surety: Westchester Fire Insurance Company


By: Todd E. Huss
President


By: Susan A. Yeazell
Attorney-in-Fact

Fischer Development Company
3940 Olympic Blvd. – Suite 100
Erlanger, Kentucky 41018
(859) 344-3128

Westchester Fire Insurance Company
525 West Monroe Street, Suite 700
Chicago, IL 60661
(312) 775-7806

- Attachments:
1. Engineer's Construction Cost Estimate
 2. Copy of the Plan (coversheet)
 3. Insurance Company Power of Attorney

Power of Attorney

WESTCHESTER FIRE INSURANCE COMPANY

FILED
AUG 25 2014

OFFICE OF HAMILTON COUNTY SURVEYOR

Know all men by these presents: That WESTCHESTER FIRE INSURANCE COMPANY, a corporation of the Commonwealth of Pennsylvania pursuant to the following Resolution, adopted by the Board of Directors of the said Company on December 11, 2006, to-wit:

"RESOLVED, that the following authorization relate to the execution, for and on behalf of the Company, of bonds, undertakings, recognizances, contracts and other written commitments of the Company entered into the ordinary course of business (each a "Written Commitment"):

- (1) Each of the Chairman, the President and the Vice Presidents of the Company is hereby authorized to execute any Written Commitment for and on behalf of the Company, under the seal of the Company or otherwise.
- (2) Each duly appointed attorney-in-fact of the Company is hereby authorized to execute any Written Commitment for and on behalf of the Company, under the seal of the Company or otherwise, to the extent that such action is authorized by the grant of powers provided for in such persons written appointment as such attorney-in-fact.
- (3) Each of the Chairman, the President and the Vice Presidents of the Company is hereby authorized, for and on behalf of the Company, to appoint in writing any person the Attorney-in-fact of the Company with full power and authority to execute, for and on behalf of the Company, under the seal of the Company or otherwise, such Written Commitments of the Company as may be specified in such written appointment, which specification may be by general type or class of Written Commitments or by specification of one or more particular Written Commitments.
- (4) Each of the Chairman, the President and Vice Presidents of the Company is hereby authorized, for and on behalf of the Company, to delegate in writing any other officer of the Company the authority to execute, for and on behalf of the Company, under the Company's seal or otherwise, such Written Commitments of the Company as are specified in such written delegation, which specification may be by general type or class of Written Commitments or by specification of one or more particular Written Commitments.
- (5) The signature of any officer or other person executing any Written Commitment or appointment or delegation pursuant to this Resolution, and the seal of the Company, may be affixed by facsimile on such Written Commitment or written appointment or delegation.

FURTHER RESOLVED, that the foregoing Resolution shall not be deemed to be an exclusive statement of the powers and authority of officers, employees and other persons to act for and on behalf of the Company, and such Resolution shall not limit or otherwise affect the exercise of any such power of authority otherwise validly granted or vested.

Does hereby nominate, constitute and appoint DAN BRIES, SUSAN A. YBAZELL, all of the City of CINCINNATI, Ohio, each individually if there be more than one named, its true and lawful attorney-in-fact, to make, execute, seal and deliver on its behalf, and as its act and deed any and all bonds, undertakings, recognizances, contracts and other writings in the nature thereof in penalties not exceeding Two million dollars & zero cents (\$2,000,000.00) and the execution of such writings in pursuance of these presents shall be as binding upon said Company, as fully and amply as if they had been duly executed and acknowledged by the regularly elected officers of the Company at its principal office.

IN WITNESS WHEREOF, the said Stephen M. Haney, Vice-President, has hereunto subscribed his name and affixed the Corporate seal of the said WESTCHESTER FIRE INSURANCE COMPANY (this 14 day of June 2013).

WESTCHESTER FIRE INSURANCE COMPANY



Stephen M. Haney
Stephen M. Haney, Vice President

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF PHILADELPHIA

ss.
On this 14 day of June, AD 2013 before me, a Notary Public of the Commonwealth of Pennsylvania in and for the County of Philadelphia came Stephen M. Haney, Vice-President of the WESTCHESTER FIRE INSURANCE COMPANY to me personally known to be the individual and officer who executed the preceding instrument, and he acknowledged that he executed the same, and that the seal affixed to the preceding instrument is the corporate seal of said Company; that the said corporate seal and its signature were duly affixed by the authority and direction of the said corporation, and that Resolution, adopted by the Board of Directors of said Company, referred to in the preceding instrument, is now in force.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal at the City of Philadelphia the day and year first above written.



COMMONWEALTH OF PENNSYLVANIA
NOTARIAL SEAL
KAREN E. BRANDT, Notary Public
City of Philadelphia, Phila. County
My Commission Expires September 29, 2014

Karen E. Brandt
Notary Public

I, the undersigned Assistant Secretary of the WESTCHESTER FIRE INSURANCE COMPANY, do hereby certify that the original POWER OF ATTORNEY, of which the foregoing is a substantially true and correct copy, is in full force and effect.

In witness whereof, I have hereunto subscribed my name as Assistant Secretary, and affixed the corporate seal of the Corporation, this

27th August, 2014



William L. Kelly
William L. Kelly, Assistant Secretary

THIS POWER OF ATTORNEY MAY NOT BE USED TO EXECUTE ANY BOND WITH AN INCEPTION DATE AFTER June 14, 2015.

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF

Little Eagle Creek Drain, Overbrook Farms Section 2 Arm

NOTICE

To Whom It May Concern and: _____

Notice is hereby given of the hearing of the Hamilton County Drainage Board on the **Little Eagle Creek Drain, Overbrook Farms Section 2 Arm** on **November 24, 2014** at **9:30 A.M.** in Commissioners Court, Hamilton County Judicial Center, One Hamilton County Square, Noblesville, Indiana, and which construction and maintenance reports of the Surveyor and the Schedule of Assessments made by the Drainage Board have been filed and are available for public inspection in the office of the Hamilton County Surveyor.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF THE

Little Eagle Creek Drain, Overbrook Farms Section 2

NOTICE

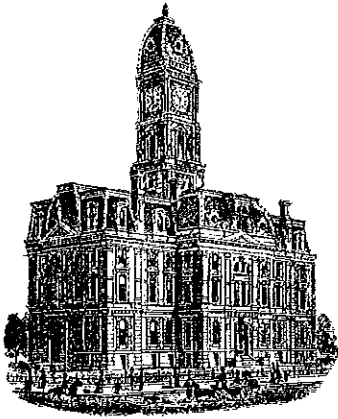
Notice is hereby given pursuant to Section 405 of the 1965 Indiana Drainage Code that this Board, prior to final adjournment on **November 24, 2014** has issued an order adopting the Schedule of Assessments, filed the same and made public announcement thereof at the hearing and ordered publication. If judicial review of the findings and order of the Board is not requested pursuant to Article Eight of this code within twenty (20) days from the date of this publication, the order shall be conclusive.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY

KCW



SURVEYOR'S OFFICE
Hamilton County

Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

July 7, 2015

Re: Little Eagle Creek Drain: Overbrook Farms Sec. 2 Arm

Attached are as-builts, certificate of completion & compliance, and other information for Overbrook Farms Section 2. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

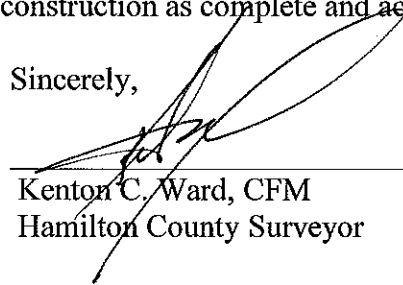
During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated September 25, 2014. The report was approved by the Board at the hearing held November 24, 2014. (See Drainage Board Minutes Book 16, Pages 34-36) The changes are as follows:
The 6" SSD was shortened from 3,452 to 3,369 feet. The 18" RCP was lengthened from 426 feet to 456 feet. The length of the drain due to the changes described above is now **4306 feet**.

The non-enforcement was approved by the Board at its meeting on November 24, 2014 and recorded under instrument #2014055484. The following sureties were guaranteed by Westchester Fire Insurance Company and will be released by the Board on its July 13, 2015 meeting.

Bond-LC No: K09019157
Amount: \$196,106.75
For: Storm Sewers & SSD
Issue Date: August 21, 2014

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,



Kenton C. Ward, CFM
Hamilton County Surveyor

KCW/slm

CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

Re: Overbrook Farms Sec. 2 & 3

I hereby certify that:

1. I am a Registered Land Surveyor or Engineer in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced subdivision.
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision.
4. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.
5. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been correctly represented on the Record Drawings, Digital Record Drawings and the Structure Data Spreadsheet.

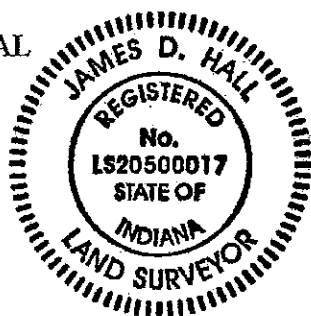
Signature:  Date: 6-17-15

Type or Print Name: JAMES D HULL

Business Address: 1307 W. 161st STREET
Westfield, IN 46074

Telephone Number: 317-399-1216

SEAL



INDIANA REGISTRATION NUMBER

LS 20500017

Site Construction Plans Overbrook Farms - Section 2

Part of the NE 1/4 Sec 19, T18N, R3E, Clay Township, Hamilton County, Carmel, Indiana

DATE OF SUBMISSION: January 17, 2014
DOCKET NO.: 13100022 PP AMEND

DEVELOPER:

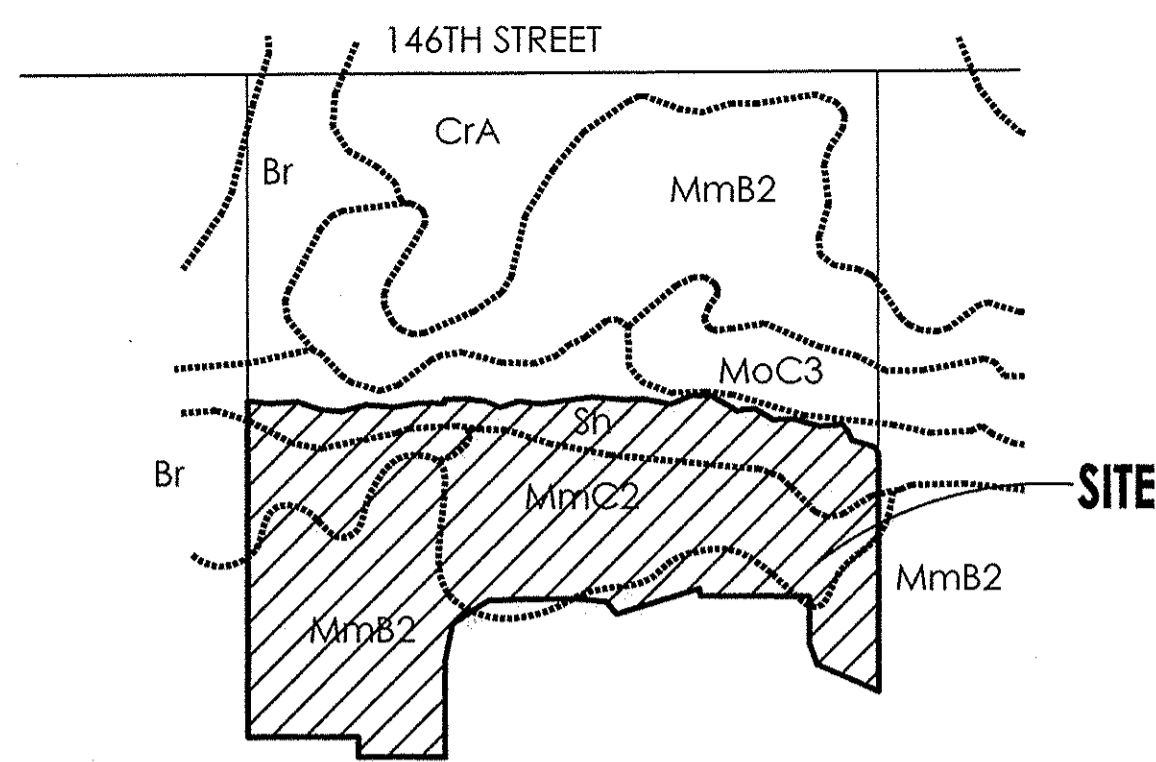
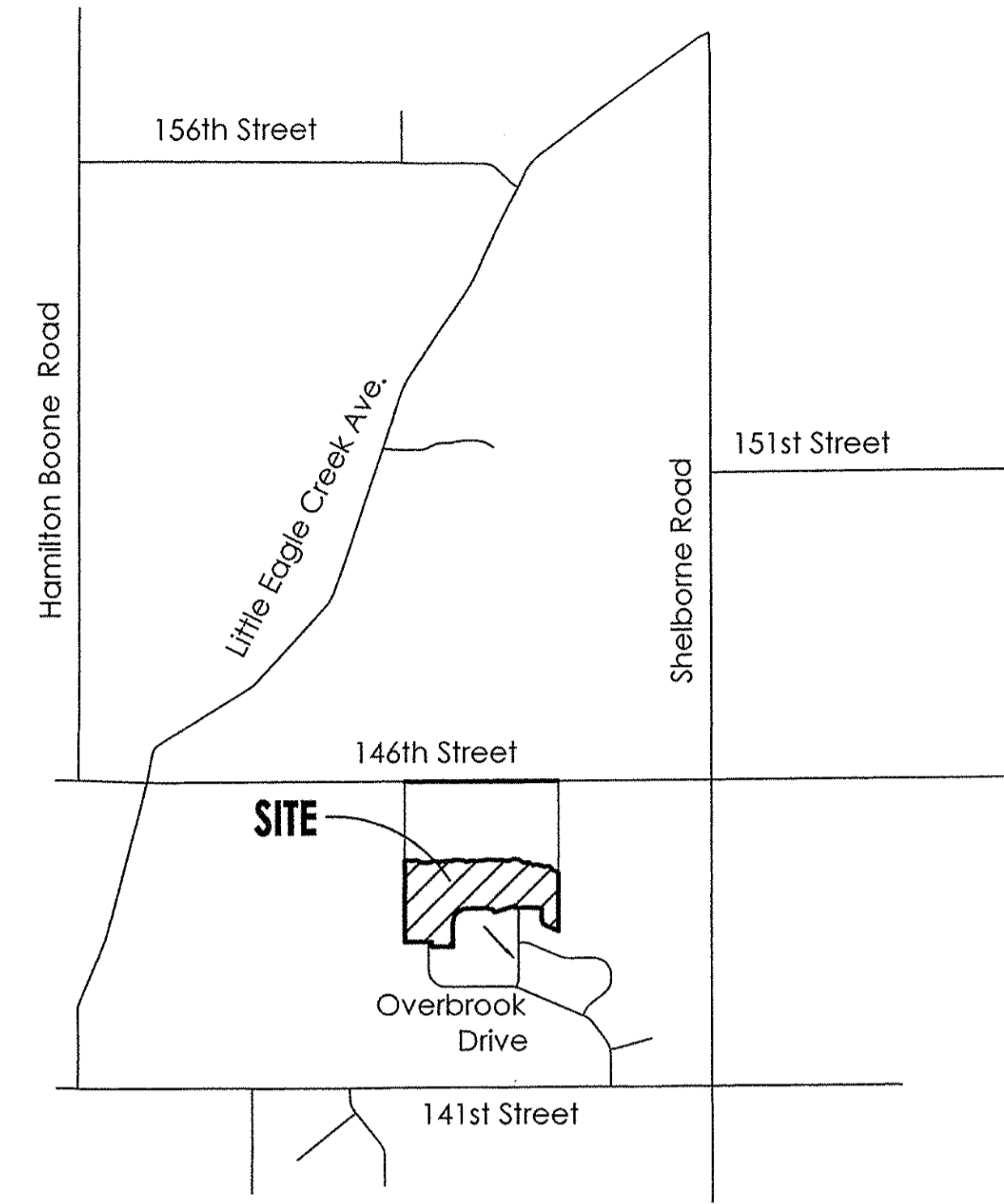
Fischer Development Co.,
6602 E. 75th Street S400
Indianapolis, IN 46250
Contact: Richard Henderson
317-501-9172
Email: rhenderson@fischerhomes.com

SITE DATA:

EXISTING ZONING: S-1/Residential - ROSO III

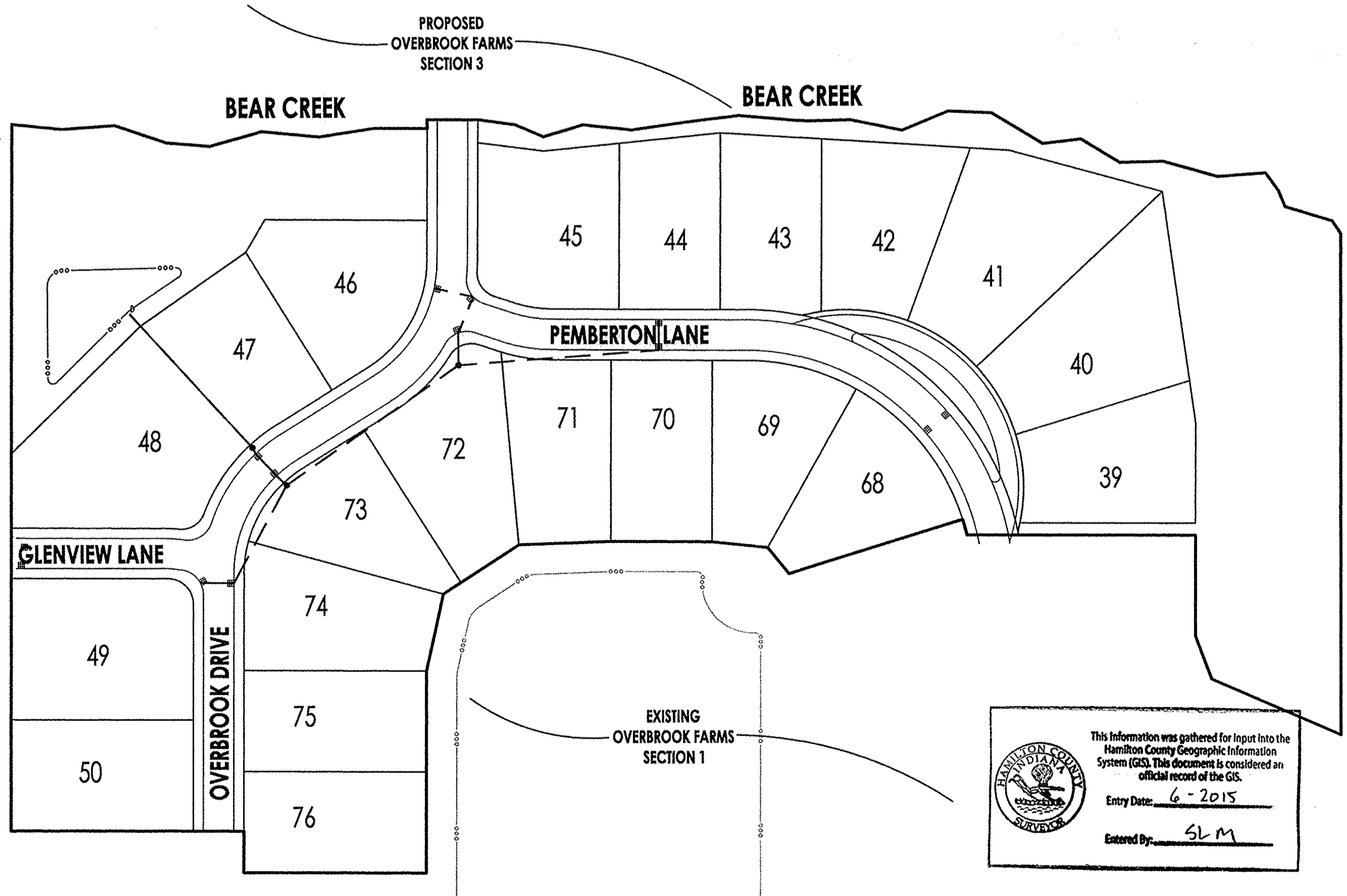
UTILITIES:

- | | | | |
|--|--|--|---|
| Water:
Carmel Water
760 3rd Avenue SW, Ste 110
Carmel, IN 46032
317-571-2443 | Sanitary Sewer:
Clay Township Regional Waste
10701 North College Avenue
Indianapolis, IN 46220
317-844-9200 | Telephone:
SBC
5858 N. College Avenue
Indianapolis, IN 46220
317-252-5143 | Cable:
Bright House Networks
3030 Roosevelt Avenue
Indianapolis, IN 46218
317-972-9700 |
| Gas:
Vectren Energy Delivery
P.O. Box 1700
Noblesville, IN 46060
317-776-5534 | Electric:
Duke Energy
16475 Southpark Drive
Westfield, IN 46074
317-896-6711 | Firstmile:
750 Liberty Drive
Westfield, IN 46074
317-569-2806 | |



SOIL LEGEND

SOIL SERIES	DESCRIPTION
Br	Brookston silty clay loam - Deep very poorly drained soil with slow permeability. Runoff is very slow or slow.
CrA	Crosby silt loam - 0 to 2 percent slopes
MmB2	Miami silt loam, 2 to 6 percent slopes, eroded
MoC3	Miami clay loam, 6 to 12 percent slopes, severely eroded
Sh	Shoals silt loam



This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.
Entry Date: 6-20-15
Entered By: SLM

INDEX

SHEET No.	SHEET NAME
C100	COVER SHEET
C101	SITE DEVELOPMENT PLAN
C101A	ONE-FOOT CONTOUR PLAN
C102	STORM WATER POLLUTION PREVENTION PLAN
C103	STORM WATER POLLUTION PREVENTION DETAILS
C104	STORM WATER POLLUTION PREVENTION NOTES
C105	SIGNAGE PLAN
C106	EXISTING CONDITIONS PLAN
C107	PONDING LIMITS PLAN
C201-C202	STREET PLAN & PROFILES AND INTERSECTION DETAILS
C301	INTERSECTION DETAILS
C401	SANITARY SEWER PLAN & PROFILES
C601	STORM SEWER PLAN & PROFILES
C602	AQUA-SWIRL DETAIL
C701-C702	WATER DISTRIBUTION PLAN & DETAILS
C801-C803	GENERAL DETAILS
C901-C902	SPECIFICATIONS

ROADWAY DESIGN
SPEED = 20 MPH

LAND DESCRIPTION: OVERBROOK FARMS - SECTION 2

Part of the Northeast Quarter of Section 19, Township 18 North, Range 3 East of the Second Principal Meridian in Clay Township, Hamilton County, Indiana, being more particularly described as follows:

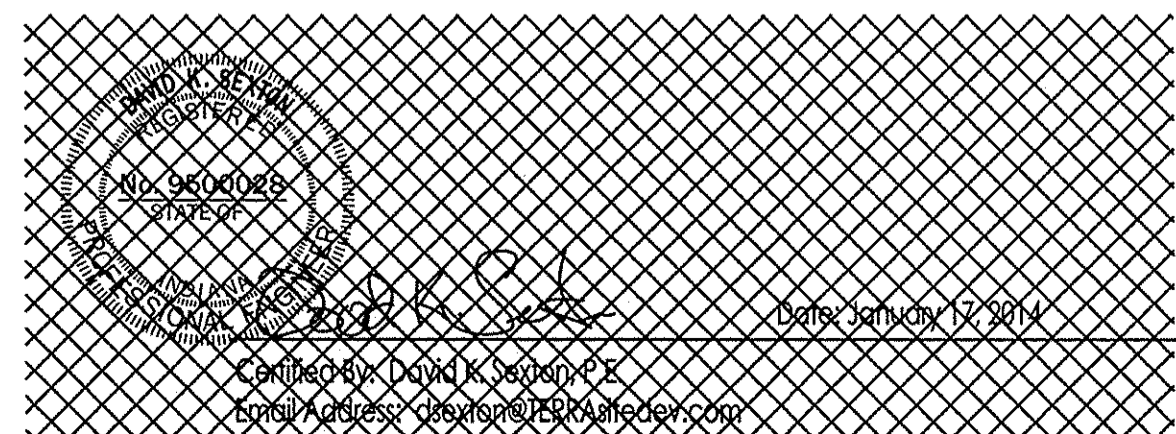
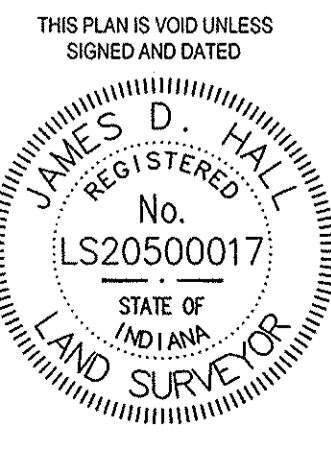
COMMENCING at the North Quarter Corner of said Section 19; thence South 00 degrees 13 minutes 13 seconds West along said west line 475.24 feet to the POINT OF BEGINNING and the center line of Bear Creek; thence continuing South 00 degrees 13 minutes 13 seconds West along said west line 698.27 feet to the northwest corner of the plat of "Overbrook Farms - Section One" recorded in Plat Catalog 4, Slide 161 (Instrument #2000061278) in the Office of the Recorder of Hamilton County, Indiana and the following sites (1) courses are along the perimeter lines of said plat: (1)thence South 89 degrees 46 minutes 47 seconds East 230.00 feet; (2)thence South 00 degrees 13 minutes 13 seconds West 41.04 feet; (3)thence South 89 degrees 46 minutes 47 seconds East 180.00 feet; (4)thence South 00 degrees 13 minutes 13 seconds West 200.00 feet; (5)thence North 12 degrees 26 minutes 31 seconds East 76.24 feet; (6)thence North 56 degrees 48 minutes 12 seconds East 89.13 feet; (7)thence 87 degrees 57 minutes 55 seconds East 90.91 feet; (8)thence South 89 degrees 42 minutes 03 seconds East 100.00 feet; (9)thence South 83 degrees 52 minutes 02 seconds East 55.30 feet; (10)thence South 39 degrees 01 minutes 08 seconds East 33.33 feet; (11)thence North 72 degrees 43 minutes 10 seconds East 180.00 feet to a point on a curve with a radius of 225.00 feet, which the radius of said point bears South 72 degrees 43 minutes 10 seconds West; (12)thence along said curve a distance of 16.03 feet to a point which bears North 76 degrees 48 minutes 09 seconds East; (13)thence South 89 degrees 46 minutes 47 seconds East 226.14 feet; (14)thence South 00 degrees 13 minutes 13 seconds West 100.00 feet; (15)thence South 20 degrees 23 minutes 27 seconds East 45.69 feet; (16)thence South 64 degrees 41 minutes 07 seconds East 138.98 feet; thence North 00 degrees 09 minutes 15 seconds East 495.76 feet to the center line of Bear Creek (the following thirty-one (31) courses are described along the meanderings of Bear Creek): (1)thence North 33 degrees 27 minutes 50 seconds West 14.70 feet; (2)thence North 73 degrees 28 minutes 57 seconds West 48.92 feet; (3)thence North 22 degrees 56 minutes 43 seconds West 17.33 feet; (4)thence North 36 degrees 31 minutes 51 seconds West 20.95 feet; (5)thence South 85 degrees 51 minutes 05 seconds West 47.79 feet; (6)thence North 74 degrees 38 minutes 22 seconds West 55.45 feet; (7)thence South 88 degrees 41 minutes 03 seconds West 42.88 feet; (8)thence North 59 degrees 05 minutes 22 seconds West 44.76 feet; (9)thence South 83 degrees 39 minutes 21 seconds West 38.23 feet; (10)thence North 39 degrees 10 minutes 17 seconds West 56.99 feet; (11)thence North 87 degrees 31 minutes 43 seconds West 42.73 feet; (12)thence South 47 degrees 41 minutes 27 seconds West 49.42 feet; (13)thence North 78 degrees 28 minutes 18 seconds West 51.93 feet; (14)thence North 88 degrees 51 minutes 54 seconds West 44.33 feet; (15)thence North 85 degrees 03 minutes 55 seconds West 66.30 feet; (16)thence South 83 degrees 05 minutes 59 seconds West 55.38 feet; (17)thence South 81 degrees 50 minutes 38 seconds West 51.27 feet; (18)thence North 83 degrees 59 minutes 03 seconds West 48.47 feet; (19)thence South 73 degrees 32 minutes 50 seconds West 41.01 feet; (20)thence North 64 degrees 46 minutes 12 seconds West 30.44 feet; (21)thence North 82 degrees 10 minutes 58 seconds West 37.11 feet to the proposed east Right-of-Way line of Overbrook Drive; thence a North 89 degrees 46 minutes 47 seconds West perpendicular to said east line 50.00 feet to the proposed west Right-of-Way line of Overbrook Drive; thence South 00 degrees 13 minutes 13 seconds West along said west line 8.78 feet to the center line of Bear Creek (the following eight (8) courses are described along the meanderings of Bear Creek): (1)thence North 89 degrees 39 minutes 42 seconds East 52.70 feet; (2)thence South 81 degrees 10 minutes 44 seconds West 54.56 feet; (3)thence North 84 degrees 43 minutes 46 seconds West 56.74 feet; (4)thence South 74 degrees 30 minutes 25 seconds West 53.33 feet; (5)thence North 85 degrees 13 minutes 31 seconds West 42.823 feet; (6)thence North 71 degrees 18 minutes 43 seconds West 54.03 feet; (7)thence South 85 degrees 37 minutes 10 seconds West 52.61 feet; (8)thence North 84 degrees 04 minutes 56 seconds West 49.34 feet to the POINT OF BEGINNING, containing 15.492 acres, more or less.

RECORD DRAWING
Storm Sewers



CERTIFIED BY: [Signature] January 23, 2015

NOTE: RECORD DRAWING CERTIFICATION IS ONLY FOR HOUSE LATERAL LOCATION MARKERS, TOP OF CASTING ELEVATION, INVERT ELEVATIONS AND LENGTHS OF PIPE. SLOPE PERCENTAGES REPRESENT A CALCULATED FIGURE AND IS FOR GENERAL INFORMATION ONLY.



LAND DESCRIPTION

NORTH 1307 W., 181st Street
Westfield, Indiana 46074
SOUTH Purdue Technology Center of
5225 Espargation Drive, Suite 133
Indianapolis, Indiana 46241
P: 317.395.1216
F: 317.663.3049
www.FischerHomes.com

DEVELOPMENT & ENGINEERING CONSULTANTS

Overbrook Farms - Section Two
Site Construction Plans
Fischer Development Company

REVISIONS:	DATE	BY	DESCRIPTION
1	10/24/14	DKS	REV. PER LOCAL AGENCY COMMENTS
2	10/24/14	DKS	REV. PER CARROLL COUNTY COMMENTS
3	10/24/14	DKS	REV. PER CARROLL COUNTY COMMENTS
4	10/24/14	DKS	REV. PER CARROLL COUNTY COMMENTS
5	10/24/14	DKS	REV. PER CARROLL COUNTY COMMENTS
6	10/24/14	DKS	REV. PER CARROLL COUNTY COMMENTS
7	10/24/14	DKS	REV. PER CARROLL COUNTY COMMENTS
8	10/24/14	DKS	REV. PER CARROLL COUNTY COMMENTS
9	10/24/14	DKS	REV. PER CARROLL COUNTY COMMENTS
10	10/24/14	DKS	REV. PER CARROLL COUNTY COMMENTS

DRAWING FILES:

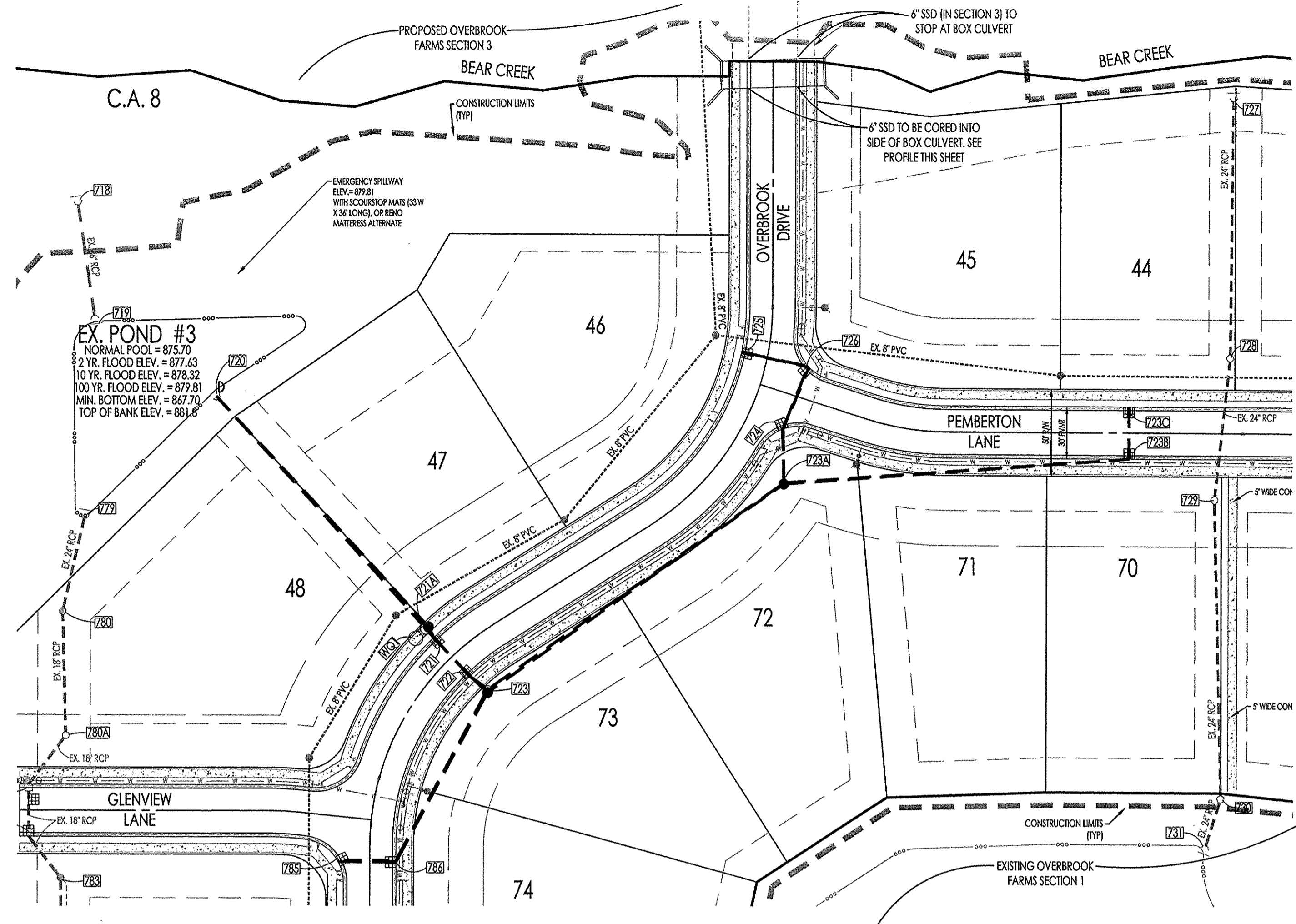
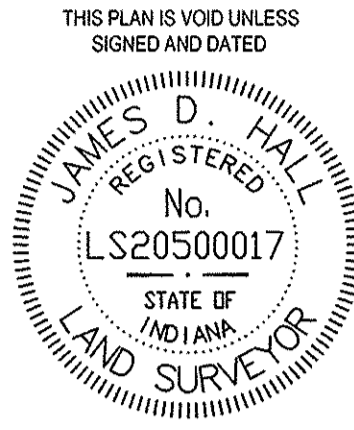
DATE: JANUARY 17, 2014
PROJECT NUMBER: 1310004-1.003
DRAWN BY: DKS
CHECKED BY: DKS
SHEET TITLE: COVER SHEET
SHEET #: C100 of 22

RECORD DRAWING

Storm Sewers

CERTIFIED BY: *[Signature]* January 23, 2015

NOTE: RECORD DRAWING CERTIFICATION IS ONLY FOR HOUSE LATERAL LOCATION MARKERS, TOP OF CASTING ELEVATION, INVERT ELEVATIONS AND LENGTHS OF PIPE. SLOPE PERCENTAGES REPRESENT A CALCULATED FIGURE AND IS FOR GENERAL INFORMATION ONLY.



NOTES:

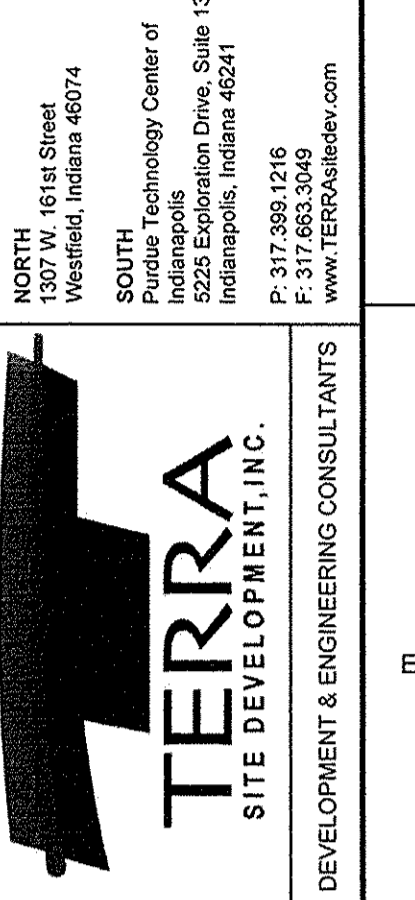
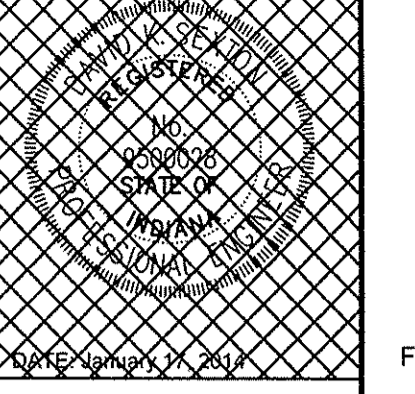
THE STORM SEWER SYSTEM SHALL BE CONSTRUCTED PER DESIGN SPECIFIED AND AS APPROVED BY THE CITY OF CARMEL ON THE FINAL APPROVED CONSTRUCTION PLANS. DEVIATIONS FROM THE APPROVED DESIGN SHALL ONLY BE PERMITTED DUE TO SPECIAL CIRCUMSTANCES OR DIFFICULTY DURING CONSTRUCTION AND WILL REQUIRE PRIOR FIELD APPROVAL FROM A DESIGNATED REPRESENTATIVE OF THE CITY OF CARMEL. IN ADDITION TO SUPPLEMENTAL APPROVAL BY THE DESIGN ENGINEER, AN EXPLANATION OF ANY SUCH DEVIATION SHALL BE INCLUDED AS A REQUIREMENT ON ASBUILT/RECORD DRAWINGS SUBMITTED FOR RELEASE OF PERFORMANCE GUARANTEES. APPROVED DESIGN SLOPES IDENTIFIED AS GENERATING VELOCITIES OF 2.5 FPS OR LESS OR 10 FPS OR GREATER (AT FULL FLOW CAPACITY) SHALL REQUIRE AS-BUILT CERTIFICATION AND THE TIME OF CONSTRUCTION, PRIOR TO BACKFILLING THE PIPE AS IT IS BEING INSTALLED TO ENSURE COMPLIANCE WITH THE DESIGN PLANS AND AS APPROVED BY THE CITY OF CARMEL.

STORM STRUCTURE CASTING TYPES:	
BEEHIVE CASTGS:	NEENAH R4342 OR EJIW 6489
CURB INLET CASTGS:	NEENAH 3501 TL/TR OR EJIW 7495 M2
SOLID CASTGS:	NEENAH 1772 OR EJIW 1022

- 1. ALL STREETS TO BE 30" IN WIDTH (MEASURED FROM 8.8' OF CURB) UNLESS OTHERWISE NOTED.
- 2. ALL RIGHTS-OF-WAY TO BE 50' IN WIDTH UNLESS OTHERWISE NOTED.
- 3. ALL CURB RADIUS AT INTERSECTIONS ARE 25' TO BACK OF CURB UNLESS OTHERWISE NOTED.
- 4. ALL STREET RIGHT OF WAY INTERSECTIONS TO BE ROUNDED WITH A 25' RADIUS UNLESS OTHERWISE NOTED.
- 5. TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL AND STATE STANDARDS.
- 6. ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
- 7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RED VERTY ALL UTILITY LOCATIONS BEFORE CONSTRUCTION BEGINS.
- 8. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATIONS OF ALL UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING ANY CONSTRUCTION.
- 9. ALL STREETS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CARMEL STANDARDS AND SPECIFICATIONS.
- 10. SEE SECONDARY PLAN FOR CURB CENTERLINE GEOMETRY, EASEMENT LOCATIONS AND DESIGNATIONS.
- 11. HYDRAULIC CALCULATIONS AND BEAR CREEK BOX CULVERT SIZES PROVIDED BY RICHARD HENDERSON, P.E., FISCHER DEVELOPMENT COMPANY, AND IS EXCLUDED FROM THIS CERTIFICATION.

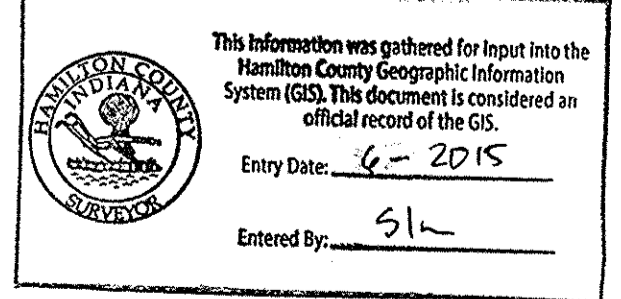
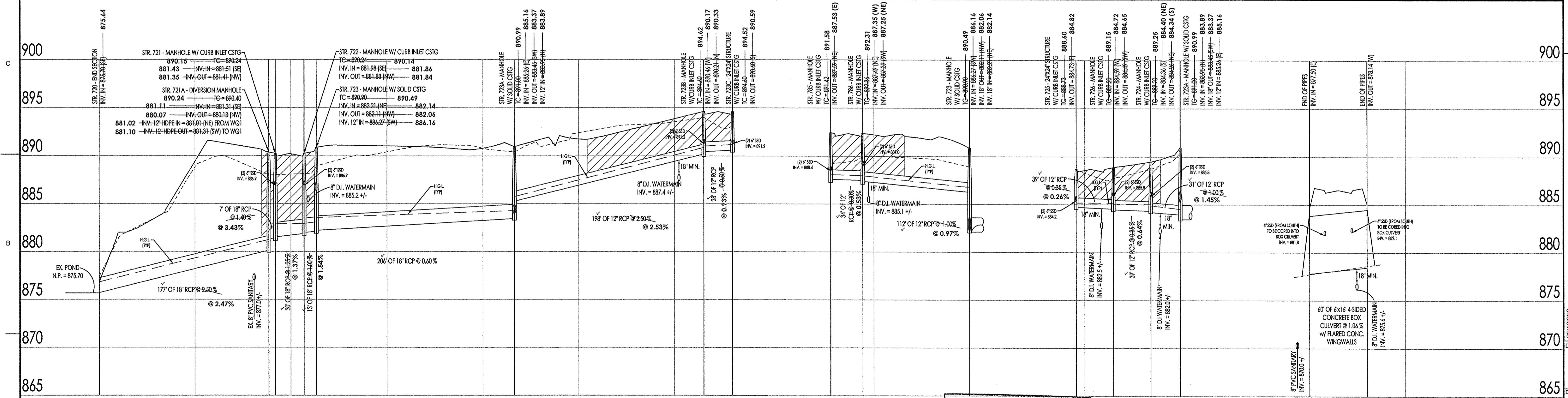
BENCHMARK INFORMATION:
North American Vertical Datum of 1988 (NAVD88)

LEE 4 RESET
DNR tablet set in top of concrete post 15.3 feet east of the centerline of Shelbome Road approximately 1500 feet south of 146th Street, just north of a wooden fence and survey marker sign. Prior Development plans were on the National Geodetic Vertical Datum of 1929 (NGVD 1929) and published the elevation of the benchmark of 910.90 feet above sea level.
Elevation = 910.53 feet (NAVD88)



STORM PLAN

SCALE: 1"=50'



STORM PROFILE

LEGEND	SCALE	HORIZONTAL: 1"=50'	VERTICAL: 1"=5'	SHEET #:
				C601
				of 22

REVISIONS:	
NO.	DESCRIPTION
1	REVISED PER COMMENTS FROM CONTRACTORS
2	REVISED PER COMMENTS FROM CONTRACTORS
3	REVISED PER COMMENTS FROM CONTRACTORS
4	REVISED PER COMMENTS FROM CONTRACTORS
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98	REVISED PER COMMENTS FROM CONTRACTORS
99	REVISED PER COMMENTS FROM CONTRACTORS
100	REVISED PER COMMENTS FROM CONTRACTORS

DATE: JANUARY 17, 2014
PROJECT NUMBER: 131004-1.003
DRAWN BY: DKS CHECKED BY: DKS
SHEET TITLE: STORM PLAN & PROFILE

NOTES:
 THE STORM SEWER SYSTEM SHALL BE CONSTRUCTED PER DESIGN SPECIFIED AND AS APPROVED BY THE CITY OF CARMEL ON THE FINAL APPROVED CONSTRUCTION PLANS. DEVIATION FROM THE APPROVED DESIGN SHALL ONLY BE PERMITTED DUE TO SPECIAL CIRCUMSTANCES OR DIFFICULTY DURING CONSTRUCTION AND WILL REQUIRE PRIOR FIELD APPROVAL FROM A DESIGNATED REPRESENTATIVE OF THE CITY OF CARMEL IN ADDITION TO SUPPLEMENTAL APPROVAL BY THE DESIGN ENGINEER. AN EXPLANATION OF ANY SUCH DEVIATION SHALL BE INCLUDED AS A REQUIREMENT ON ASBUILT/RECORD DRAWINGS SUBMITTED FOR RELEASE OF PERFORMANCE GUARANTEES. APPROVED DESIGN SLOPES IDENTIFIED AS GENERATING VELOCITIES OF 2.5 FPS OR LESS OR 10 FPS OR GREATER (AT FULL FLOW CAPACITY) SHALL REQUIRE AS-BUILT CERTIFICATION AND THE TIME OF CONSTRUCTION, PRIOR TO BACKFILLING THE PIPE AS IT IS BEING INSTALLED TO ENSURE COMPLIANCE WITH THE DESIGN PLANS AND AS APPROVED BY THE CITY OF CARMEL.

RECORD DRAWING

Storm Sewers

CERTIFIED BY: *[Signature]* January 23, 2015

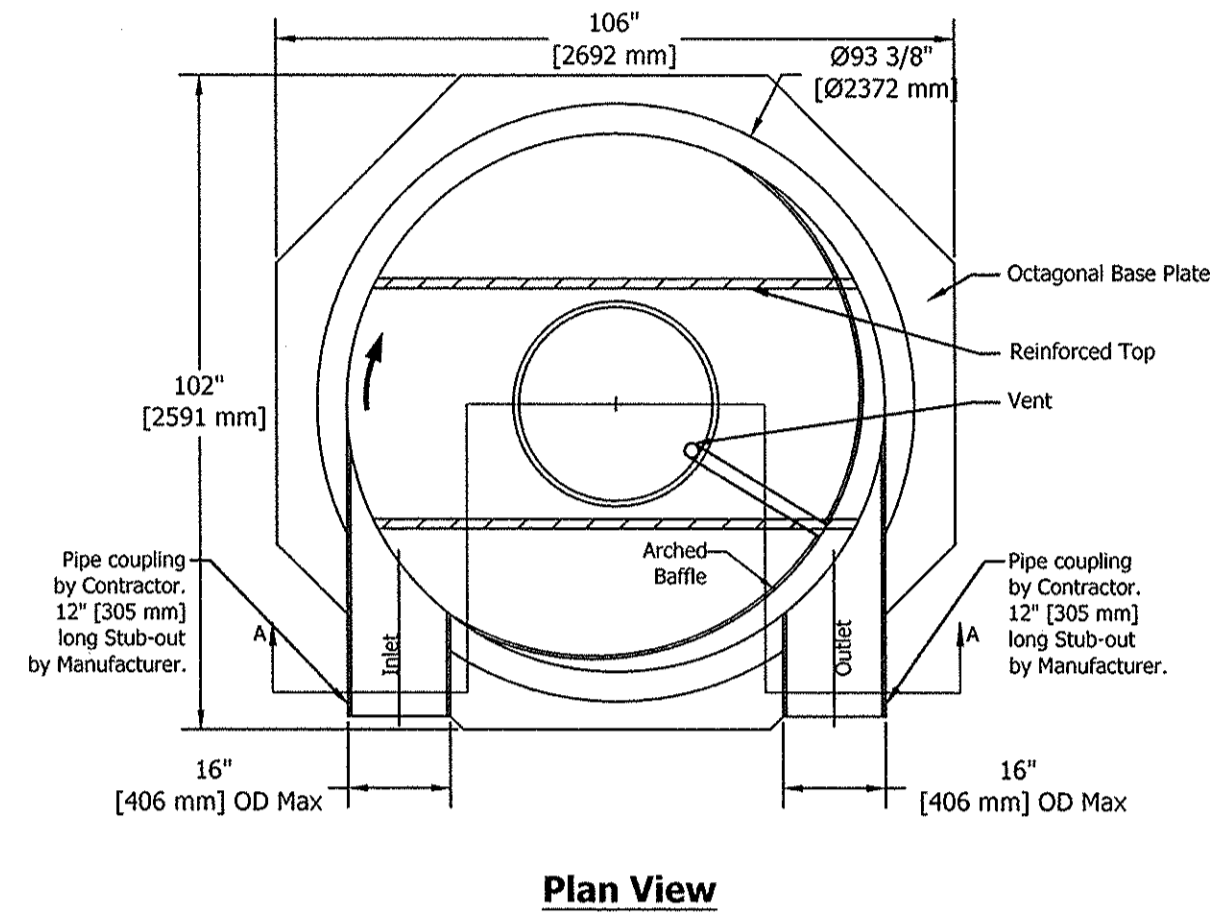
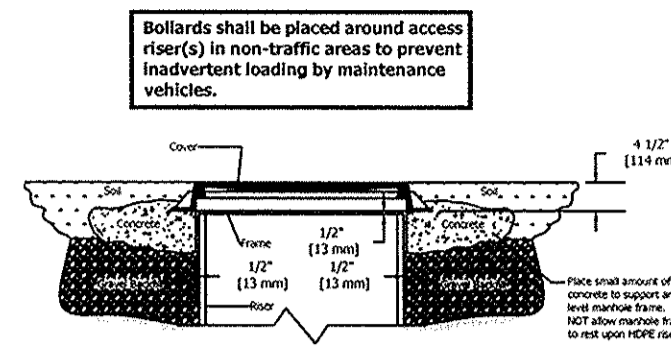
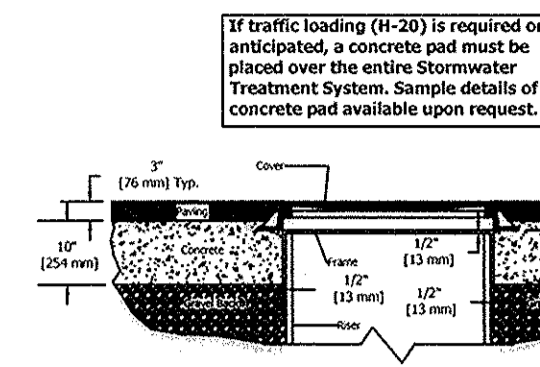
NOTE: RECORD DRAWING CERTIFICATION IS ONLY FOR HOUSE LATERAL LOCATION MARKERS, TOP OF CASTING ELEVATION, INVERT ELEVATIONS AND LENGTHS OF PIPE. SLOPE PERCENTAGES REPRESENT A CALCULATED FIGURE AND IS FOR GENERAL INFORMATION ONLY.



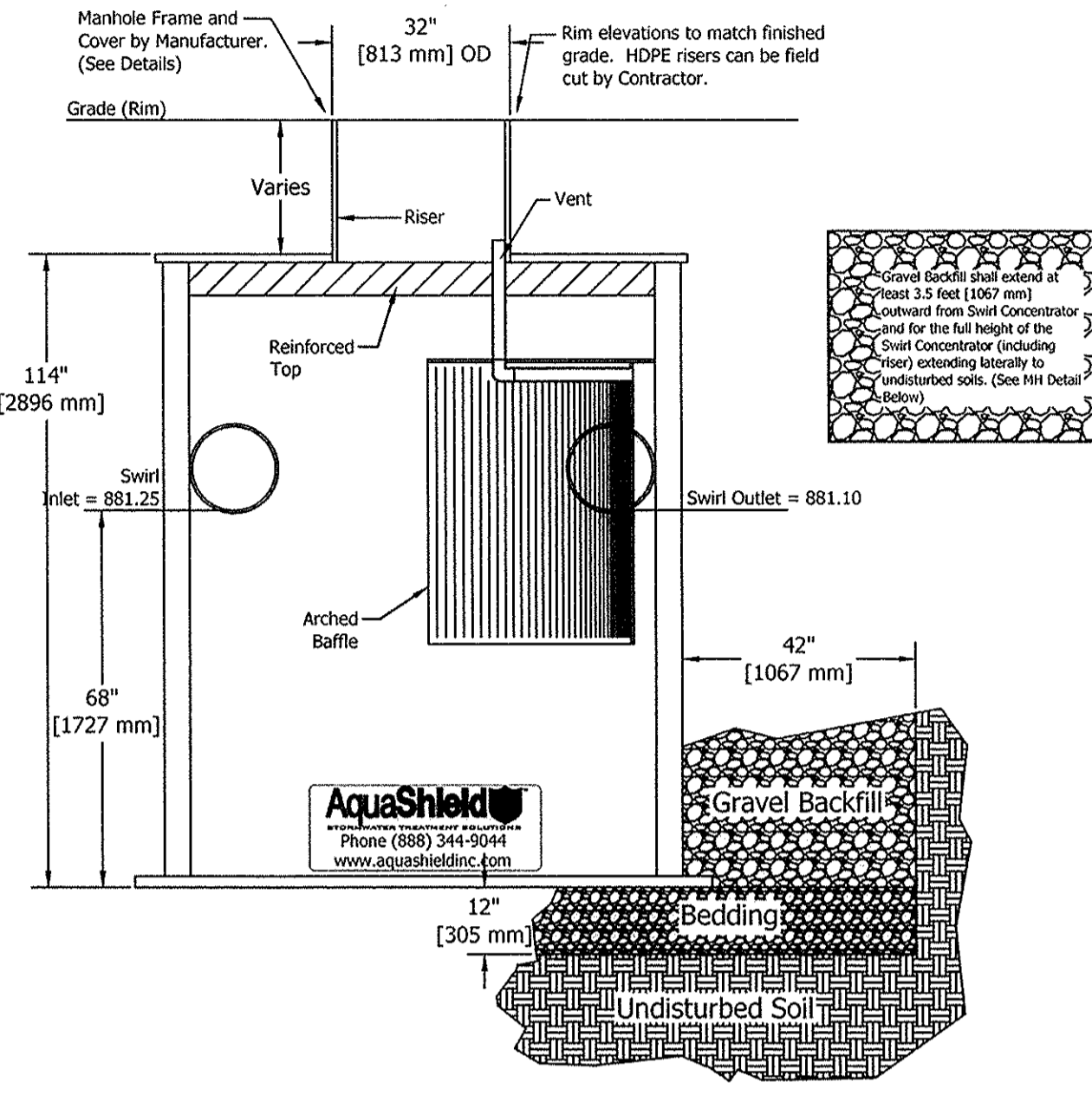
STANDARD NOTE:

- System shall be designed for the following capacities:
 Peak Treatment Flow: 8.6 cfs [243 L/s]
 Sediment Storage: 90 ft³ [2.6 m³]
 Oil/Debris Storage: 540 gal. [2044 L]

- * Please see accompanied Aqua-Swirl specification notes.
- * See Site Plan for actual system orientation.
- ** Orientation may vary from 90°, 180°, or custom angles to meet site conditions.



Plan View



Section A-A

AquaShield
 POLYMER TREATMENT SOLUTIONS
 2705 Kansas Drive, Chattanooga, TN 37343
 Phone (888) 344-9094 Fax (423) 629-2112
 www.aquashieldinc.com

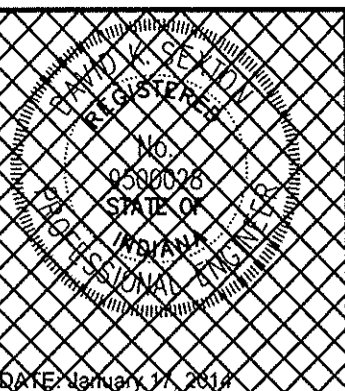
Aqua-Swirl Concentrator Model AS-7 Off-Line Horseshoe Standard Detail

AQUA SWIRL DETAIL - STORM STRUCTURE WQ-1

- ALL STREETS TO BE 30' IN WIDTH (MEASURED FROM 8-8 OF CURB) UNLESS OTHERWISE NOTED.
- ALL RIGHTS-OF-WAY TO BE 50' IN WIDTH UNLESS OTHERWISE NOTED.
- ALL CURB RADII AT INTERSECTIONS ARE 25' TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL STREET RIGHT OF WAY INTERSECTIONS TO BE ROUNDED WITH A 25' RADIUS UNLESS OTHERWISE NOTED.
- TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL AND STATE STANDARDS.
- ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL UTILITY LOCATIONS BEFORE CONSTRUCTION BEGINS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATIONS OF ALL UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING ANY CONSTRUCTION.
- ALL STREETS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CARMEL STANDARDS AND SPECIFICATIONS.
- SEE SECONDARY PLAN FOR STREET CENTERLINE GEOMETRY, EASEMENT LOCATIONS AND DESIGNATIONS.

BENCHMARK INFORMATION:
 North American Vertical Datum of 1988 (NAVD88)

LEE 4 RESET
 DNR tablet set in top of concrete post 15.3 feet east of the centerline of Shelburne Road approximately 1500 feet south of 146th Street, just north of a wooden fence and survey marker sign. Prior Development plans were on the National Geodetic Vertical Datum of 1929 (NGVD 1929) and published the elevation of the benchmark of 910.90 feet above sea level.
Elevation = 910.53 feet (NAVD88)



NORTH
 1307 W. 161st Street
 Westfield, Indiana 46074

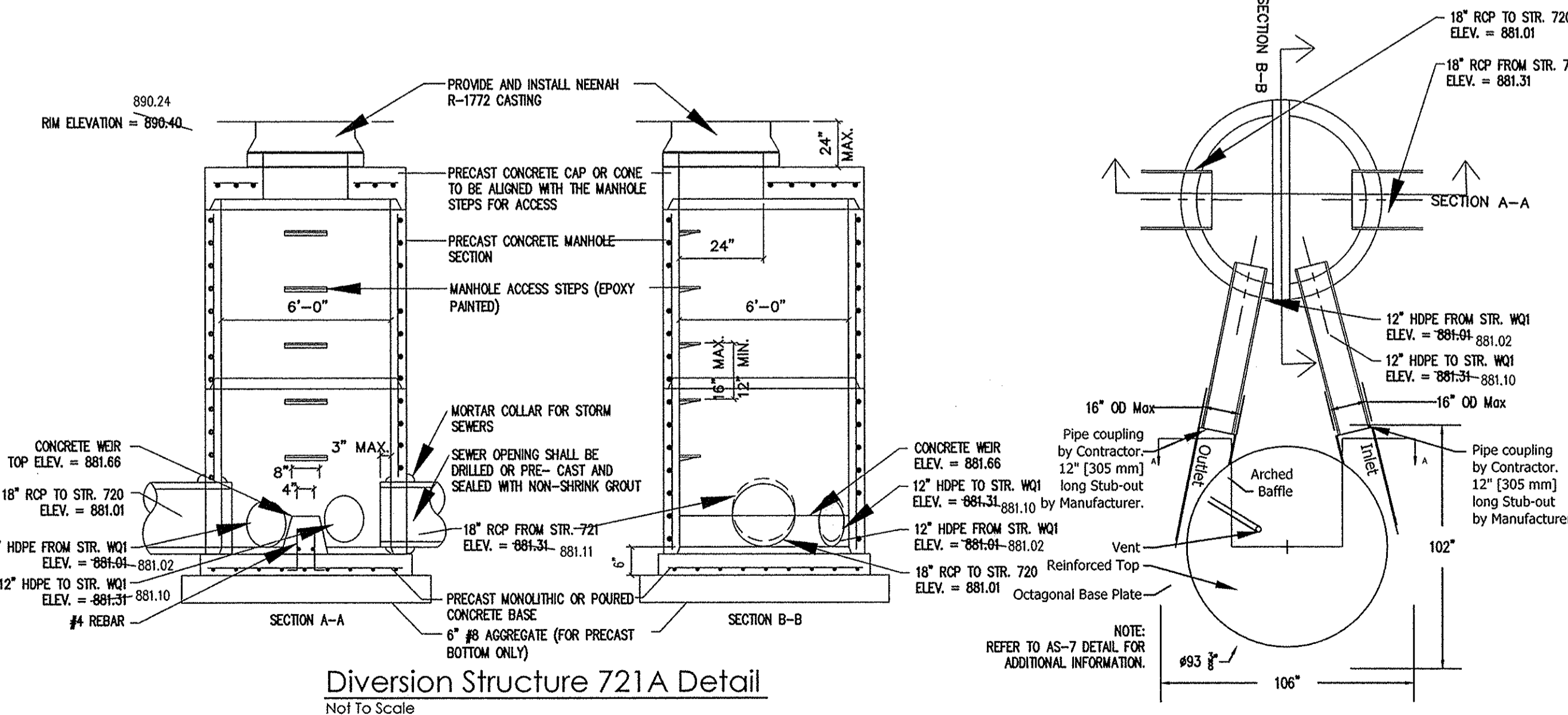
SOUTH
 Purdue Technology Center of
 Indianapolis
 Indianapolis, Indiana 46241
 P: 317.389.1216
 F: 317.652.3049
 www.terraalevel.com



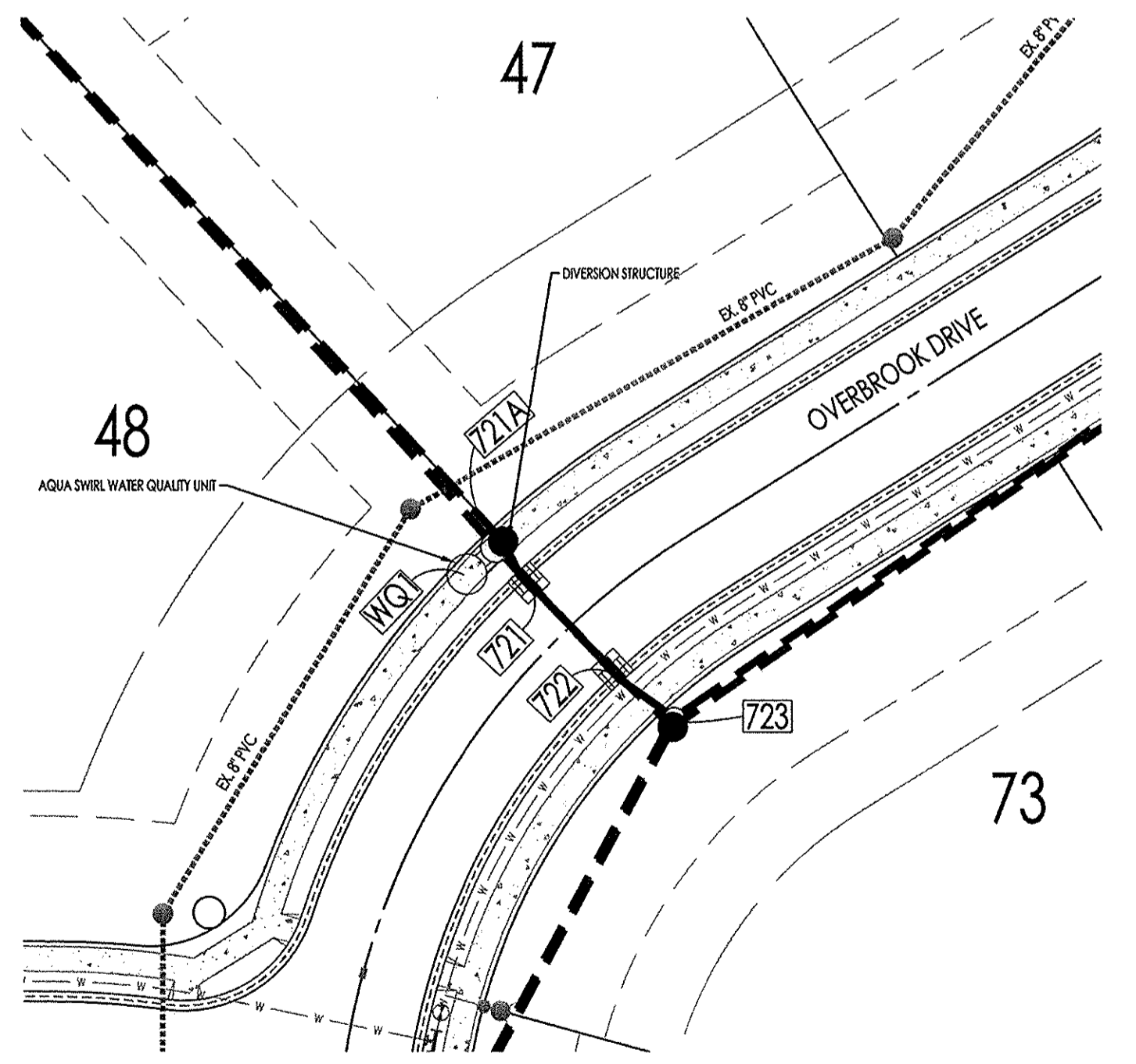
Overbrook Farms - Section Two
 Site Construction Plans
 Fischer Development Company

REVISIONS:	DATE	DESCRIPTION
1	01/17/15	REV FOR TYPING AND CORRECTIONS
2	01/17/15	REV FOR CARMEL WATER QUALITY COMMENTS
3	01/17/15	REV FOR CARMEL WATER QUALITY COMMENTS
4	01/17/15	REV FOR CARMEL WATER QUALITY COMMENTS
5	01/17/15	REV FOR CARMEL WATER QUALITY COMMENTS
6	01/17/15	REV FOR CARMEL WATER QUALITY COMMENTS
7	01/17/15	REV FOR CARMEL WATER QUALITY COMMENTS
8	01/17/15	REV FOR CARMEL WATER QUALITY COMMENTS
9	01/17/15	REV FOR CARMEL WATER QUALITY COMMENTS
10	01/17/15	REV FOR CARMEL WATER QUALITY COMMENTS

This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.
 Entry Date: 6-2015
 Entered By: SLM



Diversion Structure 721A Detail
 Not To Scale



AQUA SWIRL LOCATION MAP
 SCALE: 1"=30'



DATE: JANUARY 17, 2014
 PROJECT NUMBER: 131004-1.003
 DRAWN BY: DKS | CHECKED BY: DKS
 SHEET TITLE: AQUA SWIRL DETAIL
 SHEET #: C602 of 22